

# Land to the Rear of 54 & 56 Farleigh Road, Backwell: Arboricultural method statement

Prepared for: Persimmon Homes  
Project ref: D35 22 05  
Date: November 2021

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**Revision table:**

<b>Ref:</b>	<b>Date:</b>	<b>Details:</b>
D35 22 05	Nov 2021	1 <sup>st</sup> Draft issued to Design Team
	Nov 2021	2 <sup>nd</sup> Draft issued to LPA
	Jan 2022	3 <sup>rd</sup> Draft & final version issued following further LPA liaison & site inspection

**Appendices**

Tree Protection Plans (TPPs)

Ref; D35 22 P6 Rev A – Site entrance – Detailed

Ref; D35 22 P7 – Main site - Outline

Site inspection form

**Operations**

This method statement refers to, and should be read in conjunction with, the appended TPPs and has been drawn up to detail how the following operations are to be undertaken.

- 1 Tree work
- 2 Installation of tree protection barrier
- 3 Site monitoring
- 4 Driven sheet retaining wall
- 5 RPA Mitigation
- 6 Landscaping works within RPAs
- 7 Location of site facilities
- 8 Location of service runs
- 9 Order of operations
- 10 General procedures

**Background****Planning**

North Somerset Council has refused outline planning consent for residential development of the land to the rear of Nos. 54 & 56 Farleigh Road. This Arboricultural Method Statement (AMS) and the appended TPPs have been prepared in support of an appeal against the refusal of planning consent.

During the usual consultation period for the application, it became apparent that the LPA Officers were concerned over the potential impact of the proposals for the new site



entrance on the retained A category black pine, T38 and the adjacent B category spruce, T39. As it was felt that these concerns could not be addressed through a planning condition, the potential impact on the trees was listed as a refusal reason against granting consent. The refusal of consent is now subject to an appeal.

### **Arboriculture**

Since issuing the refusal and lodging the appeal, further dialogue has been carried out between the project design team and the LPA Officers in an attempt to seek agreement on some of the outstanding issues prior to the appeal. As part of the continuing dialogue, it is considered by both parties that the potential impact on the trees may be able to be addressed through preparation and sanction of a suitable AMS and associated TPPs. Preparation of detailed tree protection arrangements through TPP(s) and AMS is in line with accepted best practice and planning policy. Where the level of potential impact on significant retained trees is considered to be slight, the preparation of a TPP and if needed an AMS can be conditioned. Where the potential impact may be more significant, the preparation of the detailed tree protection arrangements can be requested prior to determination.

In this case, the principal tree (T38) is a large, A category black pine that is an important element of the Farleigh Road street scene, whose safe retention is essential to the local landscape.

Implementation of the AMS and adherence to the TPPs will ensure that T38 and the other retained trees are protected during the development and can continue to thrive.

### **BS 5837**

BS 5837: 2012 'Trees in relation to design, demolition and construction – Recommendations' (BS 5837) requires that retained trees should be protected during development by observing sacrosanct, 'no-go' Construction Exclusion Zones (CEZs). CEZs are observed during development so that the underlying roots of the retained trees are offered a degree of protection from construction and development activity. Protecting the roots will ensure that trees can be retained to form continuing features of the local landscape. The CEZs are marked by tree protection barriers and hedge protection fences. BS 5837 stipulates that an experienced arboricultural consultant should carry out the arboricultural process outlined in the standard.

Section 5.3 of the standard suggests that the arboricultural consultant may, using their experience and knowledge of tree morphology, alter the shape (but not the area) of the Root Protection Area (RPA) to allow a construction to take place inside the RPA, as long as



the incursion can be mitigated elsewhere within the contiguous CEZ. The Standard allows RPAs, in certain instances, to be used for other light activities such as private driveways and paths, but stipulates that any such activity can only proceed if it can be shown that there will be no significant detrimental effect to the retained trees or their root systems.

## **1 Tree work**

1.1 Before the start of any approved demolition, ground work or construction activities, the trees and hedges outlined in red on the TPP will be felled or cleared as required to facilitate the proposed development.

1.2 Where necessary trees will be dismantled in sections to avoid damaging any adjacent retained trees. Stumps of felled trees that are located outside the CEZs or away from retained hedges/vegetation may be removed by excavation. Any tree stumps that are located within CEZs or immediately adjacent to retained hedges/vegetation will be removed by the use of a stump grinder to ensure that there is no unnecessary ground disturbance.

## **2 Installation of tree protection barriers and hedge protection fences**

2.1 Before the start of any demolition, groundwork, or construction activity on the site, the specified protection barriers and fences will be erected to protect the retained trees and hedges to establish the CEZs.

2.2 No materials will be stored within the CEZs and no fires will be lit or other activities undertaken that could be harmful or injurious to the trees or their root systems. All-weather notices will be placed on the barriers prohibiting either vehicular or pedestrian access in to the enclosed area.

2.3 The barriers and fences will be inspected regularly during the development to ensure that they remain fit for purpose. Any damage to the barriers will be corrected immediately.

**Please note;** The existing buildings of Nos. 54 and 56 Farleigh Road will be demolished to allow construction of the new entrance. A new driven sheet retaining wall (discussed below) is due to be constructed to allow the new entrance and road to be constructed to highways requirements. A detailed TPP (Ref; D35 22 P6 Rev A) has been produced to detail the tree protection arrangements needed to ensure that T38 and T39 will not be



significantly impacted by construction of the new entrance. The tree protection barriers detailed on the TPP will be erected prior to either the commencement of the road construction (and its new retaining wall) and/or the demolition of the existing houses, whichever is sooner. Once erected the barriers will remain in place for the duration of the demolition and road construction and will only be removed following LPA approval.

**Please note;** As per S. 5 below, once the existing houses have been demolished, the tree protection barrier around T38 will be extended further south – over the present location of No. 54, to increase the rooting area available for the retained T38 & T39.

### **3 Site monitoring**

3.1 The project arboriculturist will visit the site regularly throughout the development to monitor the tree protection arrangements and ensure that they are maintained in accordance with the TPPs and this method statement. A site monitoring log (see attached site inspection form) will be completed for each site visit to record any defects in the tree protection barrier and/or any issues with the potential to be detrimental to the retained trees. Any necessary remedial action will then be taken to ensure the tree protection arrangements remain effective.

3.1.1 Copies of the site monitoring forms will be kept on site and a copy forwarded to the client's office and to the LPA within 72 hrs. The frequency of the arboricultural site inspections made during the development will be influenced by the intensity and location of the construction activities, but will normally be monthly unless it is deemed necessary that they should be more frequent. If the frequency of the monitoring visits is to be reduced, this will be recorded in the previous site visit's inspection form.

3.2 The project arboricultural consultant will supervise all work within the RPA of retained trees.

3.2.1 The project consultant will ensure that the contractors constructing the new driven sheet retaining wall adjacent to the new site entrance (specified at S. 4 below) have read and understood this AMS and will hold a site meeting prior to the start of the wall construction to explain and discuss all aspects of the necessary tree protection.

3.3 A pre-commencement site meeting will be held before the start of any construction works, attended by at least the site manager and the arboricultural



consultant. The tree protection arrangements outlined in the TPPs and this method statement will be fully discussed, so that all aspects of their implementation and sequencing are made clear to all parties. The outcomes of the meeting will be recorded on the first of the site monitoring forms.

#### **4 Driven sheet retaining wall**

4.1 The new site entrance is proposed to be located through the location of the existing Nos. 54 and 56 (which will be demolished). The width of the two front gardens is just sufficient to accommodate the construction of the new entrance to highways requirements.

4.2 As part of the Arboricultural Impact Assessment (AIA) it became apparent that in order to reduce the potential impact on T38, the new road would have to be moved as far to the east (No. 56) as possible, whilst still complying to highways requirements.

4.3 T38 is standing on a broadly level grass lawn that extends from the existing house to Farleigh Road. Due to the natural topography, the northern end of the lawn (adjacent to Farleigh Road) rises to some 2.2m (Approx.) above the road and there is a steep earth/grass bank from the lawn down to the road and along the existing drive (that rises to the existing house).

4.4 Despite being moved as far from the tree as possible; the western side of the new road is located slightly inside the earth bank. In order to reduce the impact on T38, the disturbance to the earth bank will need to be kept to a minimum. A retaining wall will be constructed along the back edge of the new pavement, that will rise to the height of the earth bank.

4.5 Conventional retaining walls have a 'toe' that counter-balances the load that they are retaining, in order to safely construct these walls additional material must be excavated from behind the wall. Clearly, in this case this is not suitable as the necessary ground works needed to construct the toe would add significantly to the disturbance to the lawn and the tree's RPA.

4.6 A driven sheet retaining wall is constructed by driving a sheet vertically in to the ground and it counters the retained loads by being driven some distance deeper than a conventional wall.



4.6.1 As the sheet is driven vertically in to the ground (from the front) there is no additional disturbance beyond (behind) the wall. For this reason, driven sheet walls are often specified in situations such as this where RPAs of retained trees extend right up to the new structure.

4.6.2 The TPP indicates that a tree protection barrier will be erected along the edge of the lawn, 500mm from the back edge of the driven sheet and across the lawn to the site boundary, so that there will be no access further in to the lawn. No intrusive works will be undertaken beyond the barrier.

## **5 RPA Mitigation**

5.1 The new driven sheet retaining wall will be located slightly within T38's RPA, leading to the loss of approximately 57m<sup>2</sup> of the existing rooting area. The 57m<sup>2</sup> is calculated as a potential flat plane measurement taken from the CAD plan.

5.1.1 In fact, the actual loss of rooting area will not be as much as the potential flat plane area, as the vertical face of the native material/earth directly behind the wall will also be available as rooting area. Indeed, due to temperature and density gradients between the wall and the native earth directly behind it, condensation will periodically naturally form on the back side of the wall, providing a favourable rooting environment. [This is why roots will often follow and accumulate behind building foundations and other solid objects].

5.2 Notwithstanding the potential gain in vertical rooting area directly behind the new retaining wall, the potential loss of the flat plane RPA will be mitigated by increasing the protected area further to the south.

5.2.1 The southern end of the existing rooting area extends to the edge of the tarmac drive/parking area, with the house beyond. Clearly, it will not be possible to extend the rooting area till after the house and tarmac drive have been demolished and removed. Once this has happened, the area will be made good, de-compacted and dressed with sub-soil and topsoil to a depth of 500mm to reflect the native ground conditions (similar to the grass lawn adjacent to the tree) and will be protected by tree protection barrier running adjacent to the new road.



5.2.2 The appended TPP (D35 22 P6 Rev A) indicates that the additional post-demolition protected RPA that amounts to some 70m<sup>2</sup>.

## **6 Landscaping works within RPAs**

6.1 On completion of the construction works the tree protection barriers can be removed to give access for any landscaping works that are due to be carried out within the RPAs. The extent of the works within the RPAs will be agreed with the project arboriculturist.

6.2 Any significant lumps or hollows in the ground surface may be regularised using hand tools and dressed with good quality top soil to comply with BS 3882.

6.3 Once agreed the landscaping may be undertaken but care must be taken to ensure that the works do not cause any damage to the existing trees. When carrying out the landscaping works within the RPAs the following points shall be observed:

- Ground levels will not be altered
- No heavy plant or machinery such as tractors shall enter the RPAs
- No fuels or chemicals shall be brought into or stored within these areas.

6.4 Notwithstanding any previously submitted landscape proposals for the new site entrance, the existing grass lawn adjacent to T38 and the extended rooting area (that will be created over the area of the demolished No. 54 - as specified above), will be presented as a wild flower meadow with a reduced mowing regime of no more than two cuts per annum.

6.4.1 The details of the wild flower meadow will be included in the landscape proposals for development, submitted as part of the reserved matters application for the main site area.

## **7 Location of site facilities**

7.1 At the time of writing, the location of the site facilities, compound, car parks and storage yard are not known. However, the TPP indicates that all the lawn area from the back edge of the new retaining wall and up to the front of the existing property will be excluded from the work area.



## **8 Location of service runs**

8.1 All the new services, drains, sewers and other infrastructure for the whole of the proposed development will be routed below the new road and the pavements, so that there will be no additional disturbance within the protected areas.

## **9 Order of operations**

The work detailed in this method statement will be undertaken in the following order:

1. Tree and vegetation clearance/management work
2. Erection of tree protection barriers and hedge protection fences
3. Pre-commencement site meeting
4. Construction of driven sheet retaining wall
5. Ground works & construction activity, including the installation of the service supplies and roads and footpaths
6. Completion of final landscape works, and removal of tree protection barriers.

## **10 General procedures**

Once sanctioned by the LPA, this method statement should be regarded as an approved procedure. Any variation of the details specified will need further sanction and work will need to be halted until further approval has been granted.

**Any and all contractors working on the operations covered by this method statement must research, supply and adhere to their own risk assessments and working method statements. JP Associates and its instructing client, Persimmon Homes, cannot be held liable for any accident, injury or other incident that may occur in carrying out the operations described in this method statement.**



**ATTENTION:  
IMPORTANT INFORMATION- READ CAREFULLY**

Failure to properly implement and adhere to the tree protection measures outlined on this plan may constitute a breach of the planning conditions, this may lead to the LPA taking official enforcement action. If non implementation of tree protection measures results in damage, including root damage by compaction or severance, or the death of legally protected trees, this may constitute a CRIMINAL OFFENCE and result in prosecution.

**Tree Protection Notes :**

Tree protection barriers & hedge protection fences shall be erected prior to any demolition, development or ground works taking place on the site. They shall form sacrosanct construction exclusion zones (CEZs) & shall be kept clear of construction activity, material storage and fires, no excavations shall take place within the CEZs.  
No topsoil stripping shall take place within the CEZs or prior to the erection of the protective barriers & fences

The protection barriers & fences shall remain in place until completion of construction & shall only be removed as part of the final landscape works.

The protection fences shall be regularly inspected to ensure they remain effective and any defects shall be rectified immediately.

In the interests of safety mature trees shall be inspected annually or after periods of high winds.

**Tree retention:**

-  Tree/growth to be retained
-  Tree/growth to be felled
-  Tree/growth to be pruned/cut back & retained

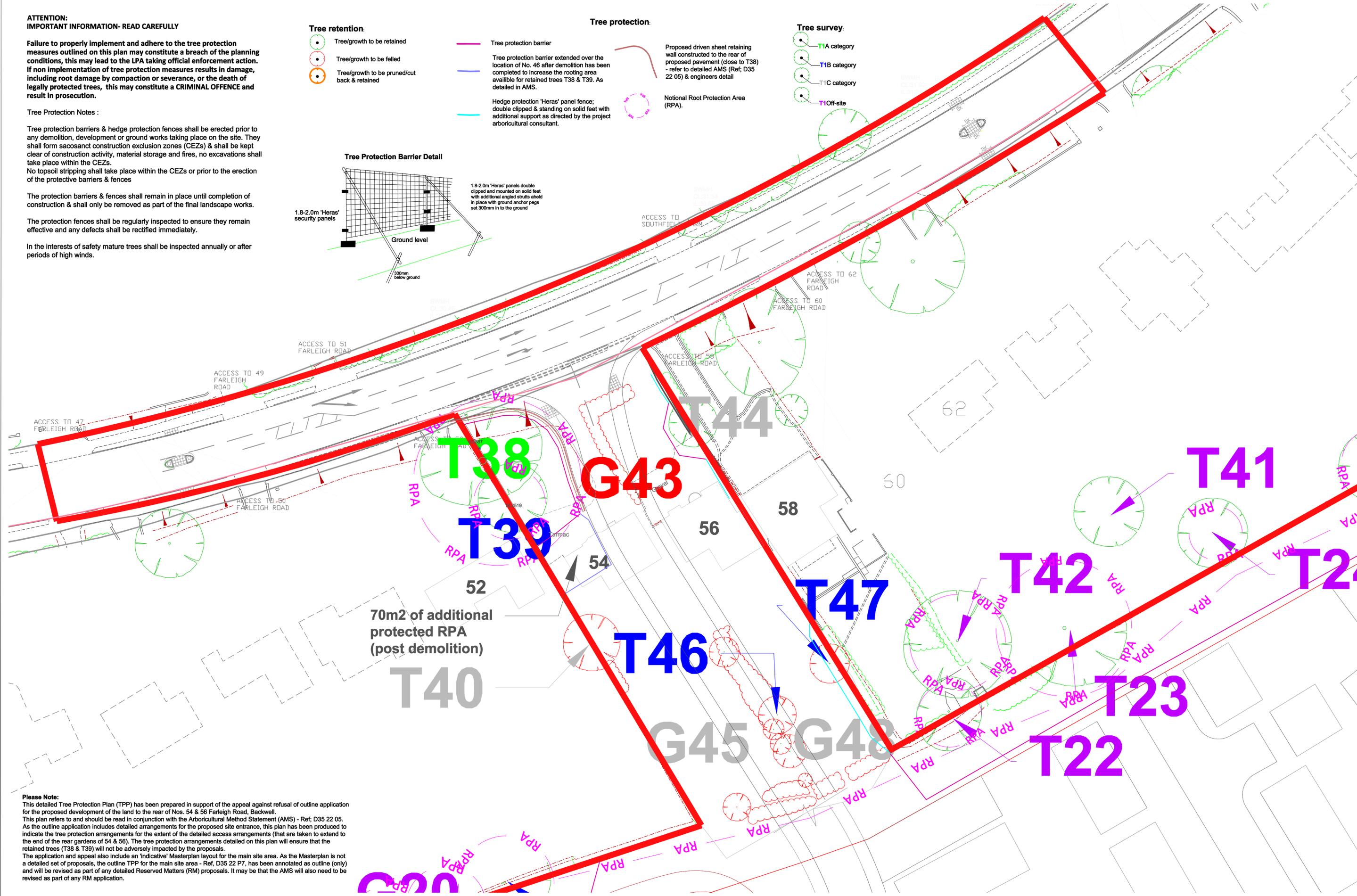
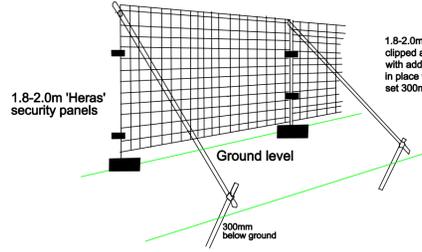
**Tree protection:**

-  Tree protection barrier
-  Tree protection barrier extended over the location of No. 46 after demolition has been completed to increase the rooting area available for retained trees T38 & T39. As detailed in AMS.
-  Hedge protection 'Heras' panel fence; double clipped & standing on solid feet with additional support as directed by the project arboricultural consultant.
-  Proposed driven sheet retaining wall constructed to the rear of proposed pavement (close to T38) - refer to detailed AMS (Ref, D35 22 05) & engineers detail
-  National Root Protection Area (RPA).

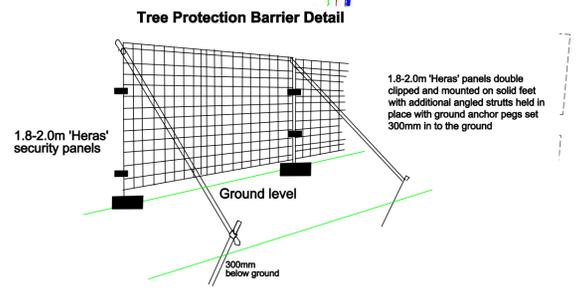
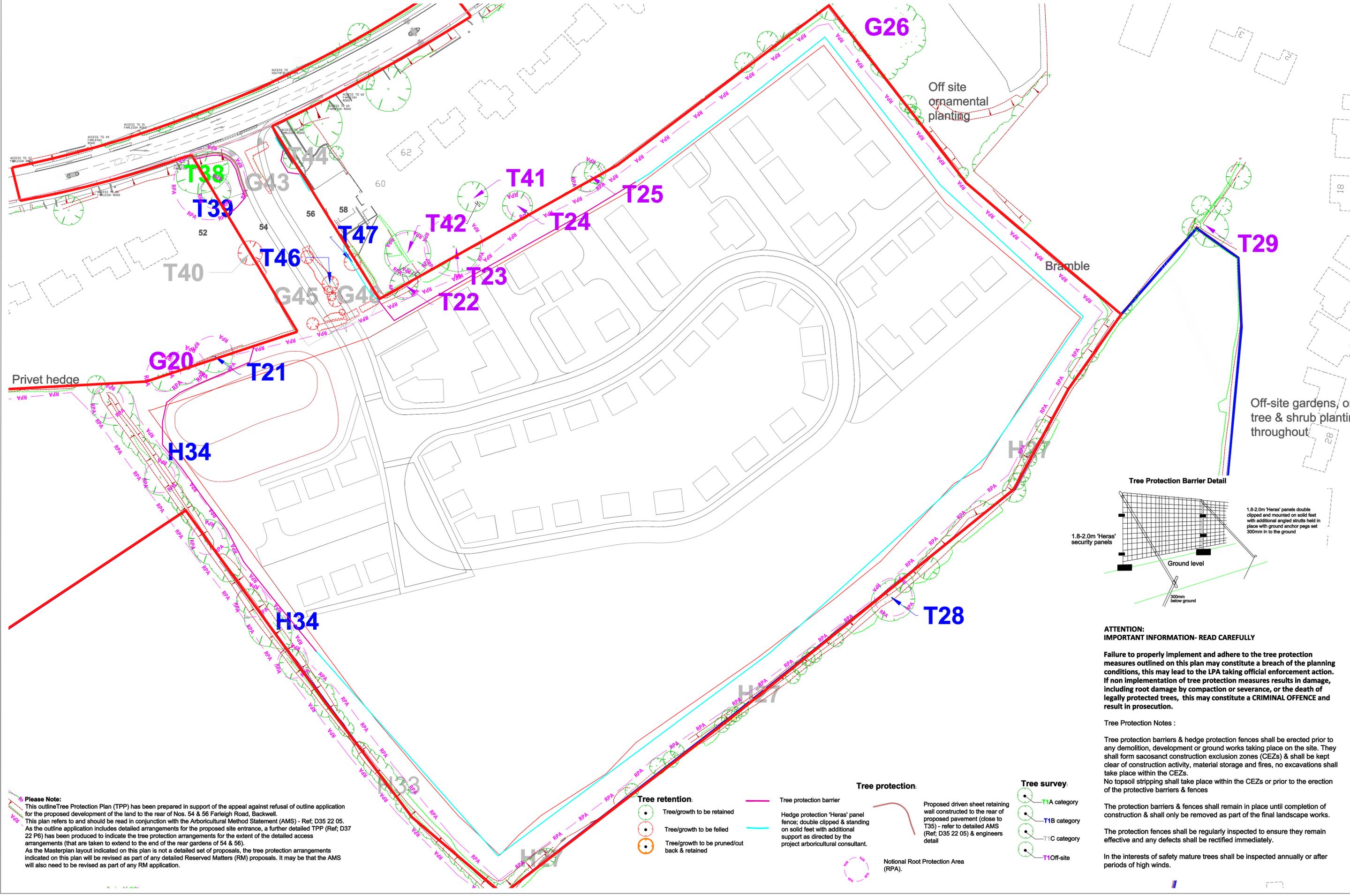
**Tree survey:**

-  T1A category
-  T1B category
-  T1C category
-  T1 Off-site

**Tree Protection Barrier Detail**



**Please Note:**  
This detailed Tree Protection Plan (TPP) has been prepared in support of the appeal against refusal of outline application for the proposed development of the land to the rear of Nos. 54 & 56 Farleigh Road, Backwell. This plan refers to and should be read in conjunction with the Arboricultural Method Statement (AMS) - Ref, D35 22 05. As the outline application includes detailed arrangements for the proposed site entrance, this plan has been produced to indicate the tree protection arrangements for the extent of the detailed access arrangements (that are taken to extend to the end of the rear gardens of 54 & 56). The tree protection arrangements detailed on this plan will ensure that the retained trees (T38 & T39) will not be adversely impacted by the proposals.  
The application and appeal also include an 'indicative' Masterplan layout for the main site area. As the Masterplan is not a detailed set of proposals, the outline TPP for the main site area - Ref, D35 22 P7, has been annotated as outline (only) and will be revised as part of any detailed Reserved Matters (RM) proposals. It may be that the AMS will also need to be revised as part of any RM application.



**ATTENTION: IMPORTANT INFORMATION- READ CAREFULLY**

Failure to properly implement and adhere to the tree protection measures outlined on this plan may constitute a breach of the planning conditions, this may lead to the LPA taking official enforcement action. If non implementation of tree protection measures results in damage, including root damage by compaction or severance, or the death of legally protected trees, this may constitute a CRIMINAL OFFENCE and result in prosecution.

**Tree Protection Notes :**

Tree protection barriers & hedge protection fences shall be erected prior to any demolition, development or ground works taking place on the site. They shall form sacrosanct construction exclusion zones (CEZs) & shall be kept clear of construction activity, material storage and fires, no excavations shall take place within the CEZs.

No topsoil stripping shall take place within the CEZs or prior to the erection of the protective barriers & fences

The protection barriers & fences shall remain in place until completion of construction & shall only be removed as part of the final landscape works.

The protection fences shall be regularly inspected to ensure they remain effective and any defects shall be rectified immediately.

In the interests of safety mature trees shall be inspected annually or after periods of high winds.

**Please Note:**  
 This outline Tree Protection Plan (TPP) has been prepared in support of the appeal against refusal of outline application for the proposed development of the land to the rear of Nos. 54 & 56 Farleigh Road, Backwell.  
 This plan refers to and should be read in conjunction with the Arboricultural Method Statement (AMS) - Ref: D35 22 05.  
 As the outline application includes detailed arrangements for the proposed site entrance, a further detailed TPP (Ref: D37 22 P6) has been produced to indicate the tree protection arrangements for the extent of the detailed access arrangements (that are taken to extend to the end of the rear gardens of 54 & 56).  
 As the Masterplan layout indicated on this plan is not a detailed set of proposals, the tree protection arrangements indicated on this plan will be revised as part of any detailed Reserved Matters (RM) proposals. It may be that the AMS will also need to be revised as part of any RM application.

- Tree retention:**
- Tree/growth to be retained
  - Tree/growth to be felled
  - Tree/growth to be pruned/cut back & retained
- Tree protection:**
- Tree protection barrier
  - Hedge protection 'Heras' panel fence, double clipped & standing on solid feet with additional support as directed by the project arboricultural consultant.
  - Proposed driven sheet retaining wall constructed to the rear of proposed pavement (close to T35) - refer to detailed AMS (Ref: D35 22 05) & engineers detail
  - Notional Root Protection Area (RPA).

- Tree survey:**
- T1A category
  - T1B category
  - T1C category
  - T1 Off-site



## JP ASSOCIATES SITE INSPECTION FORM

Site:		Client/ref:	
Date of visit:		Consultant:	
Accompanied by:		Contractors on site:	
Reason for inspection:			
Previously noted issues:			
Trees affected	Observations	Remedial action	Date of work